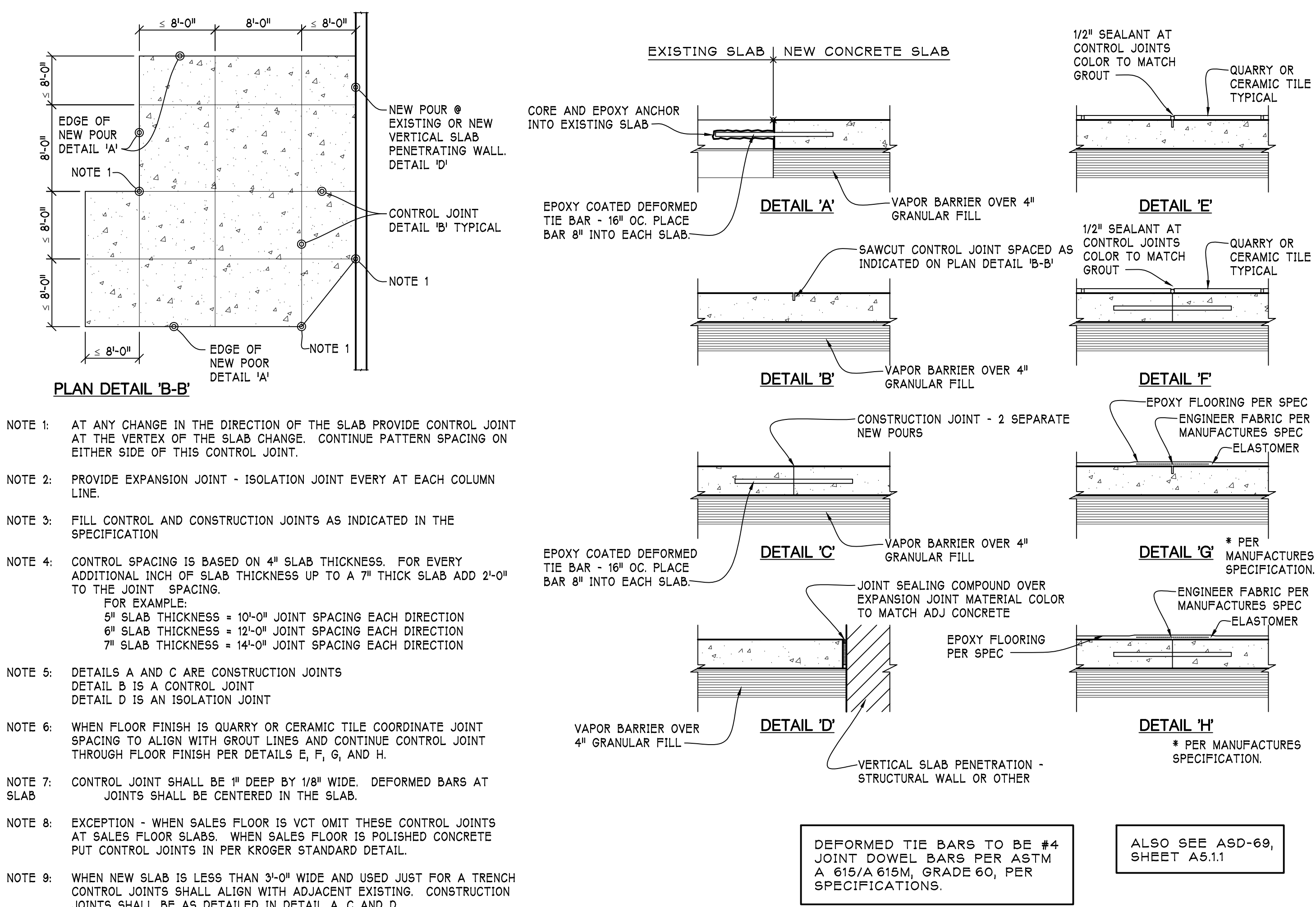


PARTITION TYPE NOTES:

- 1. SEE ROOM FINISH SCHEDULE A6.1, DECOR DRAWINGS AND SPECIFICATIONS FOR FINISHES AND ADDITIONAL INFORMATION.
- 2. ALL FULL HEIGHT, FREE STANDING WALLS, WALLS WITH ITEMS RECESSED INTO THEM, AND WALLS WITH RECESSED ELECTRIC PANELS, PIPING, & RESTROOM FIXTURES SHALL BE 6" MTL FRAMING. BALANCE OF METAL FRAMING SHALL BE 3-5/8" METAL FRAMING UNLESS INDICATED OTHERWISE.
- 2.1. WHEN ALIGNING WITH EXISTING WALL FURRING, WALL FURRING TO MATCH EXISTING.
- 3. METAL FRAMING SHALL BE 24" ON CENTER (U.N.O.) WITH HORIZONTAL BRACING PER MANUFACTURE SPECIFICATION.
- 3.1. WALLS THAT RECEIVE FRP FINISH SHALL BE FRAMED AT 16" ON CENTER.
- 3.2. WALLS THAT HAVE CEMENT BOARD SHEATHING SHALL BE FRAMED 16" ON CENTER.
- 3.3. WALLS THAT HAVE MOISTURE RESISTANT GYPSUM BOARD SHALL BE FRAMED 16" ON CENTER.
- 4. DRYWALL SHALL BE AS INDICATED ON PARTITIONS UNLESS MATCHING AND ALIGNING WITH AN EXISTING WALL / WALL INFILL. IF IT WILL MATCH EXISTING, PROVIDE CONTROL JOINT IN DRYWALL SURFACES AS REQUIRED BY MANUFACTURER AND CODE.
- 5. FURRING ON COOLERS AND CMU WALLS SHALL RUN VERTICAL.
- 6. PROVIDE SLIP-TRACK/RECEIVER AT THE TOP OF ALL PARTITIONS SUBJECT TO STRUCTURAL DEFLECTION PER GYPSUM BOARD MANUFACTURES REQUIREMENTS. ADD FIRE BLOCKING BETWEEN TOP OF WALL AND DECK WHERE OPEN AREAS ARE TO BE SEPARATED FROM AREAS WITH CEILINGS. FILL ALL DECK VOIDS.
- 7. GYPSUM BOARD: TYPICAL 1/2" GYP. BOARD TO BE USED UNLESS NOTED OTHERWISE. REMODEL PROJECTS USE 5/8" GYPSUM BOARD WHERE EXISTING 5/8" GYPSUM BOARD IS IN PLACE.
- 8. MOISTURE RESISTANT GYPSUM BOARD: 1/2" THICK TO BE USED UNLESS NOTED OTHERWISE.
- 9. CEMENT BOARD: 1/2" UNLESS NOTED OTHERWISE.
- 10. BRACING AT COOLER/FREEZER: FULL HEIGHT WALLS BUILT ALONG COOLER/FREEZER PANELS SHOULD BE BRACED AT ROOF PANEL TO UTILIZE STANDARD DEPTH METAL STUD.
- 11. FLOOR FINISH AND BASE: REFER TO INTERIOR DECOR PLANS & ROOM FINISH SCHEDULE.
- 12. FINISHED CEILINGS: EXTEND GYP. BD. 6" ABOVE CEILING, METAL STUDS DO NOT NEED TO EXTEND TO DECK (U.N.O.) IF BRACED BACK TO STRUCTURE ABOVE AT 48" O.C. MAX.
- 13. METAL STUDS AND GYPSUM BOARD SHEATHING MUST EXTEND TO BOTTOM OF ROOF DECK AROUND SECURE AREAS (ECC, PHARMACY), AT AREAS WHERE ONE SIDE OF THE WALL IS OPEN TO STRUCTURE AND THE OTHER HAS A CEILING, AND AT THE SEPARATION WALL BETWEEN BACK ROOM AND SALES AREA.
- 14. PROVIDE PROTECTIVE PANELING (WAINSCOT) WHERE INDICATED AS NEW OR TO REPLACE EXISTING. PROTECTIVE PANELING BE TO 3'-6" AFF. OR TO MATCH EXISTING. AT RECYCLING ROOM PROVIDE 1/2" M.R. GYPSUM BOARD, EXCEPT BEHIND FRP. FRP IN RECYCLING ROOM TO OCCUR ONLY BEHIND THE TOMRA UNITS & IN THE STORAGE/WOP ROOM. FRP TO BE 5'-0" AFF BEHIND THE TOMRA UNITS. PROVIDE CEMENT BOARD BEHIND FRP TO 4'-0" AFF. WALLS WITH WAINSCOT EXPOSED TO CART TRAFFIC TO TYPICALLY RECEIVE TWO BUMPER RAILS. CENTER OF BUMPER TO BE AT 5" AFF & 1'-11" AFF (U.O).
- 15. FOR NEW FRAMED WALLS INDICATED TO EXTEND EXISTING PREP ROOM WALLS, INSTALL FOIL FACE OF INSULATION TOWARD THE WARM SIDE, FOR EXAMPLE, THE BACK ROOM OR SALES SIDE RATHER THAN INSIDE PREP ROOM.



529 CONTROL JOINT DETAIL
A12 SCALE NONE

- NOTES:
- 1. SEE SHEET A12 FOR CONCRETE REMOVAL AND REPLACEMENT PLAN.

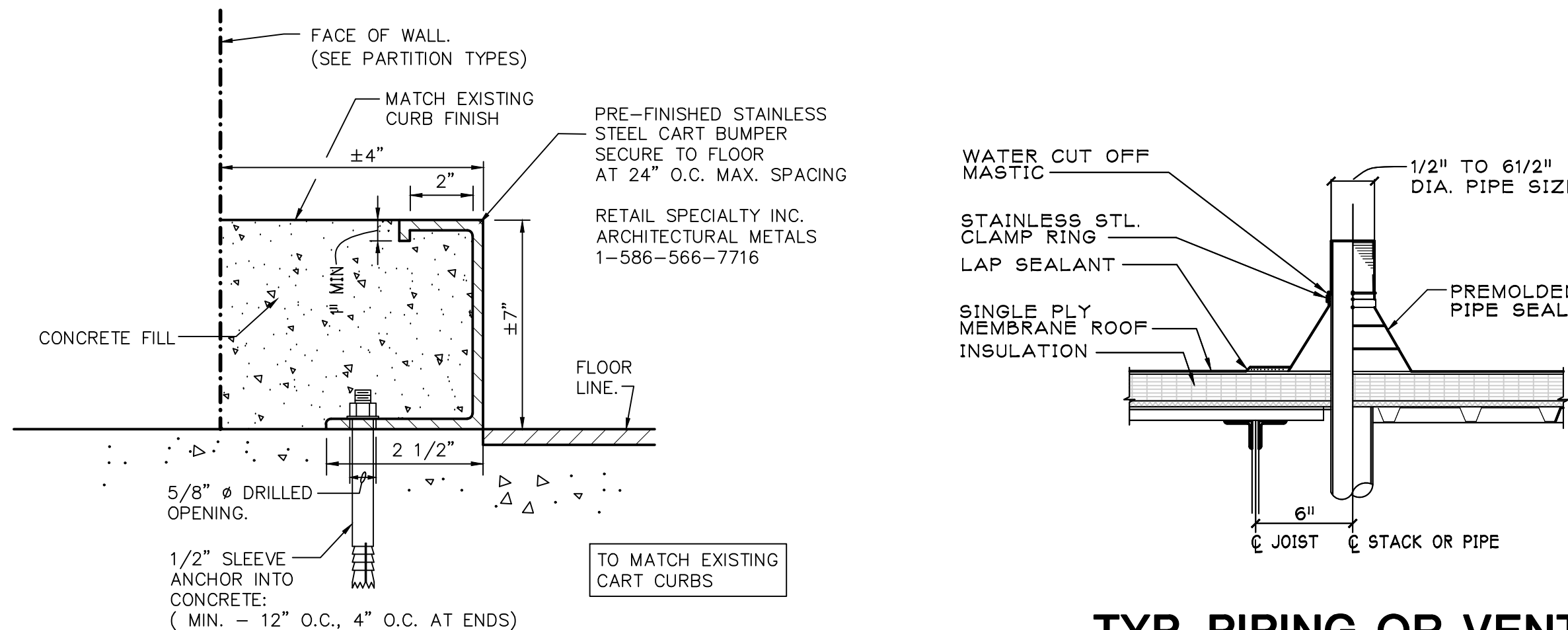
- STAINLESS STEEL COVER PLATES NOTES:
- A. REPLACE EXISTING DAMAGED OR SMOOTH STEEL PLATES / COVERS WITH NEW STAINLESS STEEL PLATES (PLATES OVER 1/2 SQ. FT. TO BE "DIAMOND-PLATED").
 - B. PLATES ARE TO BE FLUSH WITH FINISH FLOOR.
 - C. WHERE PLATES ARE NO LONGER NEEDED FOR ACCESS OR JUST HIDING OR PATCHING DAMAGED CONCRETE ON THE FLOOR, REMOVE PLATE & CUT/PATCH CONCRETE AS REQUIRED FOR SMOOTH, FLUSH FINISH.
 - D. GENERAL CONTRACTOR TO VERIFY LOCATIONS & SIZES OF ALL PLATES.
 - E. GENERAL CONTRACTOR TO PROVIDE UNIT COST PER SQUARE FOOT OF STEEL PLATES. PROVIDE UNIT COST IN THE TRADE PROPOSAL FORM (SECTION 00 42 13-TRADE PROPOSAL) UNDER ITEM 5.
 - F. RAISE AND COVER ANY NEWLY EXPOSED EXISTING RACEWAY ACCESS PORTS (TYP. AT REGISTERS & B-LINES) WITH DIAMOND PLATE COVERS. PROVIDED & INSTALLED BY G.C.

FIRE SUPPRESSION, FIRE ALARM & SECURITY NOTES:

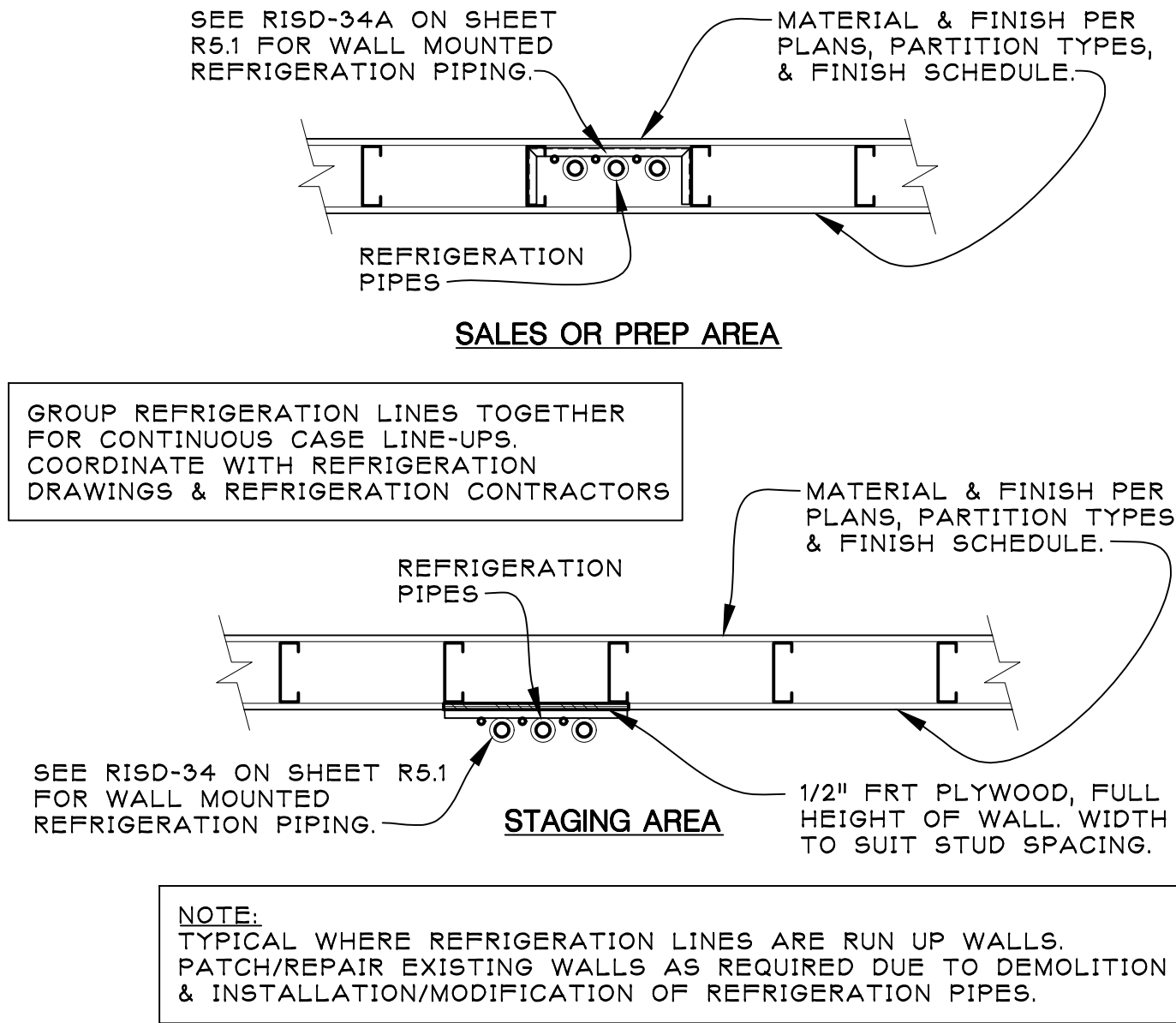
- 1. THE FIRE SUPPRESSION WORK ON THIS PROJECT SHALL BE DESIGN-BUILD AND BE A DEFERRED SUBMITTAL BY G.C. AFTER THE BIDDING PROCESS. THE INTENT IS TO EXTEND AND MODIFY THE EXISTING SYSTEM AS REQUIRED FOR THE CHANGES MADE TO THE STORE. REPAIR AND/OR REPLACE ANY DAMAGED OR MISSING COMPONENTS. PROVIDE ANY ADDITIONAL COMPONENTS FOR THE SYSTEM AS REQUIRED FOR MODIFICATIONS TO THE SYSTEM.
- 2. G.C. SHALL BE RESPONSIBLE FOR COORDINATION OF ALL MECHANICAL, PLUMBING, REFRIGERATION, ELECTRICAL WITH LOCAL AUTHORITIES HAVING JURISDICTION AND ALL OTHER BUILDING TRADES. CARE SHALL BE TAKEN TO PROTECT EXISTING ITEMS SCHEDULED FOR REUSE.
- 3. REWORK EXISTING FIRE SUPPRESSION SYSTEM IN EACH AREA WHERE THE ROOM LAYOUT OR CEILING HAS CHANGED AS REQUIRED TO ACCOMMODATE NEW CONFIGURATION (RAISE OR LOWER HEADS AS REQUIRED). ALL REVISIONS TO THE FIRE SUPPRESSION SYSTEM TO BE TREATED AS A DEFERRED SUBMITTAL BY G.C. REVISION TO BE DESIGNED AND SEALED BY A LICENSED ENGINEER AND MEET ALL RELEVANT STATE AND LOCAL CODES. (ALL WORK/DESIGN/REVISIONS TO BE APPROVED BY KROGER'S UNDERWRITER).
- 4. COORDINATE ALL REQUIRED BACK-FLOW PREVENTION DEVICE MAINTENANCE AGREEMENTS BETWEEN THE OWNER AND THE CITY.
- 5. G.C. AND/OR FIRE SUPPRESSION CONTRACTOR TO FIELD VERIFY THAT THE APPROPRIATE COVERAGE IS PROVIDED IN NEW & EXISTING AREAS (INCLUDING INSIDE & ABOVE COOLERS & FREEZERS).
- 6. THE EXISTING FIRE ALARM SYSTEM SHALL REMAIN FOR THIS STORE. MODIFY SYSTEM AS REQUIRED FOR NEW LAYOUT. FIRE ALARM WORK ON THIS PROJECT SHALL BE DESIGN-BUILD AND BE A DEFERRED SUBMITTAL BY G.C. AFTER THE BIDDING PROCESS.
- 7. THE EXISTING SECURITY SYSTEM (PREMISE ALARM) SHALL REMAIN FOR THIS STORE. MODIFY SYSTEM AS / IF REQUIRED FOR NEW LAYOUT. SECURITY ALARM WORK ON THIS PROJECT SHALL BE DESIGN-BUILD AND BE A DEFERRED SUBMITTAL BY G.C. AFTER THE BIDDING PROCESS.
- 8. SEE SPECIFICATION SECTION 28 10 00 (SECURITY SYSTEMS) AND SECTION 28 46 00 (FIRE ALARM) FOR SYSTEM DESIGN AND REQUIREMENTS.
- 9. G.C. SHALL BE RESPONSIBLE FOR COORDINATION OF ALL MECHANICAL, PLUMBING, REFRIGERATION, ELECTRICAL WITH LOCAL AUTHORITIES HAVING JURISDICTION AND ALL OTHER BUILDING TRADES. CARE SHALL BE TAKEN TO PROTECT EXISTING ITEMS SCHEDULED FOR REUSE.

ROOFING GENERAL NOTES:

- 1. THE EXISTING ROOF IS TO REMAIN. PORTIONS OF THE ROOF TO BE PATCHED & REPAIRED OR REWORKED AS REQUIRED DUE TO ANY DEMOLITION, REMOVAL OF EXISTING ITEMS, ANY NEW CONSTRUCTION, AND INSTALLATION OF NEW ITEMS. MATCH EXISTING ROOFING MATERIAL (IE. MEMBRANE, INSULATION, STEEL DECKING) AND PROVIDE NEW MATERIAL AS REQUIRED TO PATCH / REPAIR ROOF AND MATCH EXISTING SLOPE.
- 2. COORDINATE ANY NEW ROOF WORK WITH FLOOR PLANS, STRUCTURAL, MECHANICAL, PLUMBING, & ELECTRICAL DRAWINGS. COORDINATE NEW WORK AND DEMOLITION WORK WITH INTERIOR WORK AND THE PHASING PLAN.
- 3. FLASH & SEAL ALL NEW ROOF PENETRATIONS PER PROJECT SPECIFICATIONS AND ROOF MANUFACTURERS REQUIREMENTS.
- 4. ALL ROOF WORK TO BE PERFORMED BY A QUALIFIED ROOFING CONTRACTOR PER ROOF MANUFACTURERS STANDARDS AND TYPICAL INDUSTRY STANDARDS. CONTRACTOR TO MAINTAIN EXISTING ROOF WARRANTY & INTEGRITY. ALL ROOF WORK TO BE DONE TO BE PER ROOF MANUFACTURERS STANDARDS.
- 5. REMOVE ALL EXISTING ITEMS NOT REUSED. PATCH/REPAIR ROOF AS REQUIRED BY MANUFACTURER TO MAINTAIN ROOF WARRANTY.
- 6. PROVIDE OPENINGS THRU ROOF FOR NEW VENT PIPES AS REQUIRED. SEE PLUMBING DRAWINGS & SPECS. SEE DETAIL 527, THIS SHEET, FOR TYPICAL DETAIL.



527 TYP. PIPING OR VENT FLASHING DETAIL
A52 NO SCALE



521 REFRIGERATION PIPE MOUNTING DETAIL
A11 NO SCALE

BIDS AND PERMITS
80% OWNER REVIEW
09/12/2025
05/16/2026

PROPOSED MINOR INTERIOR REMODEL FOR:

Kroger

STORE NO. D-663
26130 GRATIOT AVE,
ROSEVILLE, MI 48066

THE KROGER CO. OF MICHIGAN

jeffery a. scott architects p.c.

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PARTITION TYPES, DETAILS & NOTES

project no. 24007 sheet no. A5.2